

MOUNT ROYAL GOLF AND COUNTRY ESTATE

ARCHITECTURAL GUIDE

1 August 2005

revised 7 December 2006; 31 January 2007

General Architectural Guide and Submission of Design Documentation Procedures

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Section A

1. INTRODUCTION

- 1.1 This architectural guide (the Guide) is constituted under the Constitution of the Mount Royal Home Owners Association. The intention of the guide is to ensure architectural coherence in the built fabric of the proposed **Mount Royal Golf & Country Estate**. The principle objectives of this coherence in architectural language, building materials and colours is to ensure that all buildings contribute to the value of each individual home owner's investment on the one hand, and to mitigate the visual impact of the development as a whole on the other.
- 1.2 This Guide is applicable to all single residential, group housing and general residential properties. Commercial properties will be subject to the town planning scheme regulation of the local authority and subject to the pre-scrutiny and written approval of the Estate Management (EM).
- 1.3 No building or structure shall be erected without the approval of the Mount Royal Estate Management, its Architectural Review Committee (internal approval), and the local authority (Swartland Municipality).
- 1.4 The Estate Management together with the Home Owners Association shall from time to time appoint the Architectural Review Committee, which shall be overseen by a qualified architect who shall be known as the Principal Reviewing Architect (PRA). The Estate Management may at their sole discretion appoint from time to time a Supplementary Reviewing Architect (SRA).
- 1.5 In the event of the PRA being commissioned as design architects for any of the specific developments, the Estate Management (EM) will assess the PRA's design proposals. The EM may at their sole discretion appoint an SRA to assist them in such an event.
- 1.6 In questions of interpretation of the Guide or in the event of matters arising from the design process, which are not addressed by the Guide, the reviewing architect (PRA or SRA) shall make a binding ruling. Minor variations that are deemed to be in the interest of the estate and compatible with the guide may be considered by the Estate Management from time to time.
- 1.7 It is recommended that all building plans are to be prepared and submitted by professional architects or firms registered with the South African Council of Architects.

2. PROCEDURE

- 2.1 A letter must accompany plans submitted to the Architectural Review Committee (ARC) from the applicant certifying that the plans comply with the Guide. Example of an acceptable compliance certificate is attached as a Addendum A.
- 2.2 A copy of the professionals' SACAP (SA Council for the Architectural Profession) registration certificate is to be attached.
- 2.3 Plans are to be submitted in two phases: phase 1 = sketch design (plans, elevations, key section and site plan) & phase 2 = construction drawings.
- 2.4 The ARC may levy additional scrutiny fees at an hourly rate to the applicant in the event of the submission being incomplete or faulty.
- 2.5 Building plans may only be submitted to the local authority after approval has been granted by the ARC and by the Estate Management, which shall be accompanied by an endorsement by the ARC as well as the Estate Management. No building plans shall be approved by the relevant local authority unless they carry the above endorsements.

- 2.6 No application will be accepted without payment of the prescribed fees (see Clause 38)
- 2.7 All the requirements to be met for submission of plans for scrutiny are compiled in a checklist (Addendum B hereunder) which is to accompany the submission. Incomplete submissions will cause unnecessary delay to the process.

3. CONTACT INFORMATION:

Estate Management Representative:

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4. ARCHITECTURAL LANGUAGE

This guide does not attempt to be excessively descriptive in terms of architectural style as such. It is more concerned with the achievement of architectural synergy and cohesion by prescribing a building **type** as opposed to a building **style**.

Coherent architectural environments, such as Dorp Street in Stellenbosch illustrate this principle, where the building **type** is that of a white, wall dominant street-facing building of no more than two or three storeys.

The building styles, however, vary from Cape Dutch, through Victorian and Georgian to the very Modern. There is a strong sense of cohesion between the buildings. As a whole they contribute to the making of a memorable architectural experience. An experience, which is sufficiently varied in **style**, to ensure a liveliness and individuality, but equally disciplined in **type** to present as a coherent whole.

It is important to note that no style or type is inherently superior to any other style or type. It may, however, be suggested that some styles and types are more appropriate than other styles and types in specific environments. It is subsequently suitable to present the following assessment of the influencing environment of the proposed **Mount Royal Golf & Country Estate** in order to contextualise the proposed architectural language.

5. THE INFLUENCING ENVIRONMENT

The proposed **Mount Royal Golf & Country Estate** is situated at the existing **Malmesbury Golf Course** on the northern edge of the rural town of Malmesbury. The N7 highway to the east and gently rolling wheat-covered hills to the north and the west border this country estate. The site slopes towards the west, with regular clear views of Table Mountain in the distance. Two seasonal streams run along the western and northern boundaries. The existing golf course is well established with mature trees and well-kept fairways and greens. The development will allow for the expansion of the golf course to an 18-hole course. The town takes its name, and much of its architectural heritage, from a close association with its sister town of Malmesbury in the United Kingdom.

A healthy dialogue between the towns and the **Earl of Malmesbury** exists to this day. This connection to England, combined with the close association with and physical presence of the ancient game of Golf, establishes a base for the proposed architectural language of the development. When the afore-mentioned influences are read against the physical environment of rolling, cultivated fields and copses of trees on country streams, an architectural typology of country villages becomes almost self-evident.

6. SITE LAYOUT

The site development plan for the proposed **Mount Royal Golf & Country Estate** is shaped around vistas to the surrounding countryside. The roads meander along contours in gentle curves. The golf course and its proposed extension form the soft landscaped internal core of the development. The site development plan promotes a rural atmosphere and suggests that buildings should further develop this theme of a flowing soft landscape, which penetrates between the buildings.

7. BUILDING TYPE (single residential)

The above-mentioned analysis of the influencing environment confirms that a rural pavilion building type, i.e. free standing buildings in a park-like landscape, is the building type to be employed in the **Mount Royal Golf & Country Estate**.

This building type is characterized by buildings, which do not necessarily line up along street edges, but orientate towards views or sunlight. The landscape flows between the buildings, thus integrating the golf course setting with private gardens and with street reserves.

The pavilion building type must be re-enforced by the regulation of the **building mass** (see Clause 10) and the limitations placed on **boundary walls** (see Clause 20).

Acceptable architectural styles within this building type for single residential erven are discussed in Clause 9.

8. BUILDING TYPE (group housing)

The group housing sites have higher densities. The pavilion type is subsequently not suitable for use here. The group housing sites will be based on the English Mews (or the Dutch "Woonerf") concept. Semi-detached and freestanding dwellings are designed around streets and common areas as an urban entity. All houses within a specific group-housing site must be stylistically similar.

These dwellings must form a unit of stylistically attuned structures, which present as a harmonious whole.

9. ARCHITECTURAL STYLES – Single residential and Group Housing

Due to the scale of the proposed development and a strong market demand for individuality, Mount Royal makes provision for homes being designed in 1 of 4 architectural styles. These styles are however disciplined by the prescribed building type, which limits the massing, colour ranges and building materials across the styles. Individuality will thus be attained through more subtle variations in stylistic elements, while cohesion is achieved through the use of colour and a common language of compatible building materials.

The prescribed building type can thus be suitably adorned and articulated to represent the following architectural styles:

9.1 **Style 1 - English Country: A cottage style, with dominant roof, walls toned to match the roof and white or natural timber**

window and door frames. Bay windows and dormer windows in tiled roofs are typical of this style.



Figure 1 – English Country



Figure 2 - English Country



Figure 3 - English Country

9.2 Style 2 - Rural Victorian: A simpler, less adorned version of the Victorian Style.



Figure 4 - Rural Victorian



Figure 5 - Rural Victorian

9.3 Style 3 - Rural Tuscan or Provencal style. Tiled roofs with overhangs. Textured, earth toned walls, natural timber window frames and a non-symmetrical massing of the building typifies this style.



Figure 6 - Tuscan



Figure 7 - Provençal

9.4 Style 4 - Cape Vernacular Style: A style of architecture typical to the region, typified by wall dominant architecture, windows which are taller than they are wide and dark roofs with a pitch of more than 40 degrees.



Figure 8 – Cape Vernacular



Figure 9 – Cape Vernacular



Figure 10 – Cape Vernacular

- 9.5 Each individual group housing site, comprising more than 3 dwellings shall have all individual buildings designed in one of the above styles only.

10. BUILDING MASS - Single Residential and Group Housing

- 10.1 All buildings are to be made up of a dominant building mass (core) with adjoining secondary abutments (wings). Core buildings must have a constant width (span of trusses) between 5m and 8m .
- 10.2 Secondary masses (wings) may not be less than 3.5m and not more than 5m in width (span of roof trusses or rafters). Garages are not required to meet these width limitations if they are free standing or separated from the core building by a linking wing.
- 10.3 Garages may be incorporated into the mass of the core building or may alternatively be free standing or attached to the core by means of a linking wing.
- 10.4 Granny flats are permitted provided –
- 10.4.1 they are under the same roof as the main dwelling;
- 10.4.2 an extra parking bay is provided on the site;
- 10.4.3 provisions of the Municipality's scheme regulations promulgated under Provincial Notice 1047 dated 5 December 1988 as well as the provisions of section 15 of Ordinance 15 of 1985 are complied with.

11. BUILDING HEIGHT - Single Residential , Group Housing & General Residential (apartments)

- 11.1 Buildings on the golf course side of the main distributor road may not exceed the single storey height (see fig 11).
- 11.2 In the case of Group Housing Erven the PRA shall designate which dwellings may be double storey.
- 11.3 Double storey buildings may only be built on the non-golf course side of the main distributor road In such cases the first floor area may not exceed 75% of the total coverage of dwelling excluding the garage if it is seperated from the main building mass OR 75% of the total coverage of the dwelling, including its garage (if the garage is an integral part of the main dwelling).
- 11.4 All erven to the north of the entrance drive, between the N7 and the Voëlvelei pipeline servitude to be single storey only.
- 11.5 Buildings with pitched roofs shall be classified as single storey if they conform to a maximum height of wall plate = 3.5m, and a maximum roof ridge height of 8m above groundfloor finished floor level (ffl).
- 11.6 Single storey wings (abutments) with flat roofs or garages with flat roofs: maximum height of any portion = 4m above ffl.
- 11.7 Double storey wallplate height a maximum of 5.7, a maximum roof ridge height of 10m above groundfloor finished floor level (ffl) (Refer to Fig 12). Dwellings that are higher comply with these height restrictions shall be classified as double storey.
- 11.8 General Residential: Double storey plus loft with a wall plate at a maximum height of 7.5m, a maximum roof ridge height of 12m above ground floor ffl.
- 11.9 Basements shall be dealt with as per Fig 13.

MOUNT ROYAL GOLF & COUNTRY ESTATE

- main distributor road 
- group housing erven 
- pipe line servitude 



Figure 11

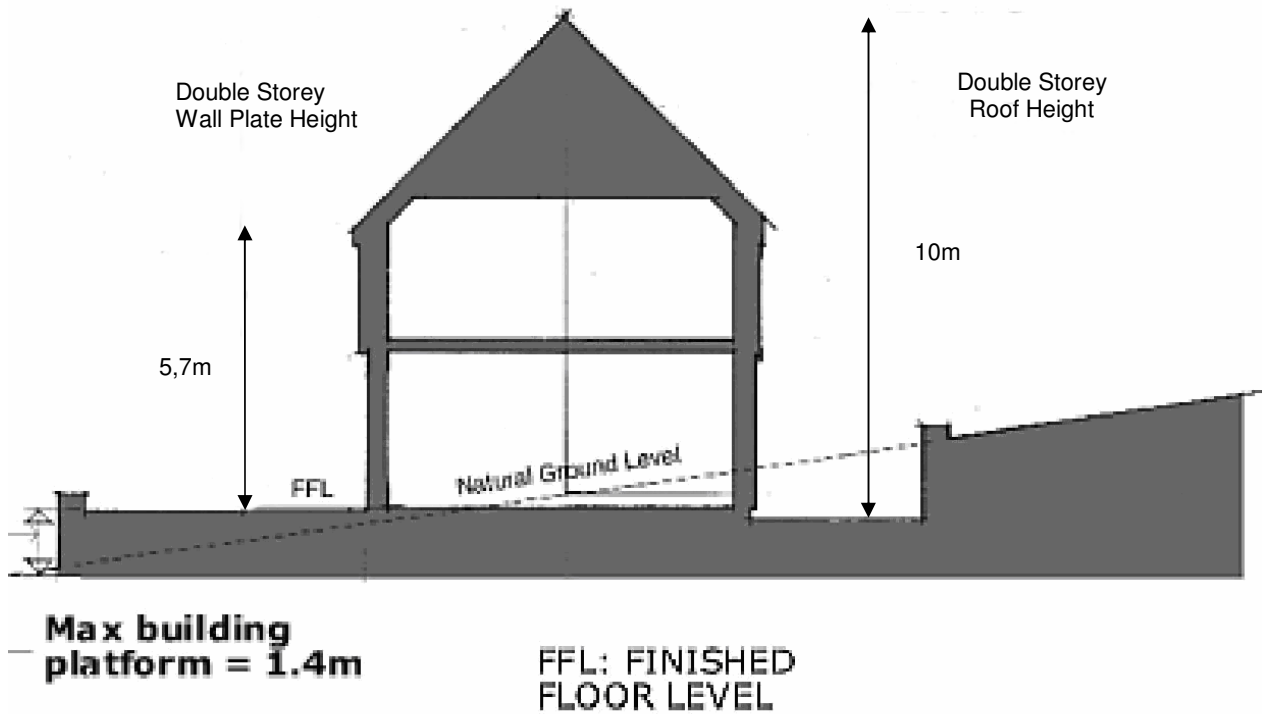


Figure 12

BASEMENTS: DEFINITION - Softfit of ceiling slab at less than 1m above a level C halfway between points A and B.

Where "A" is the lowest adjoining Natural Ground Level (NGL) and "B" is the highest adjoining NGL.

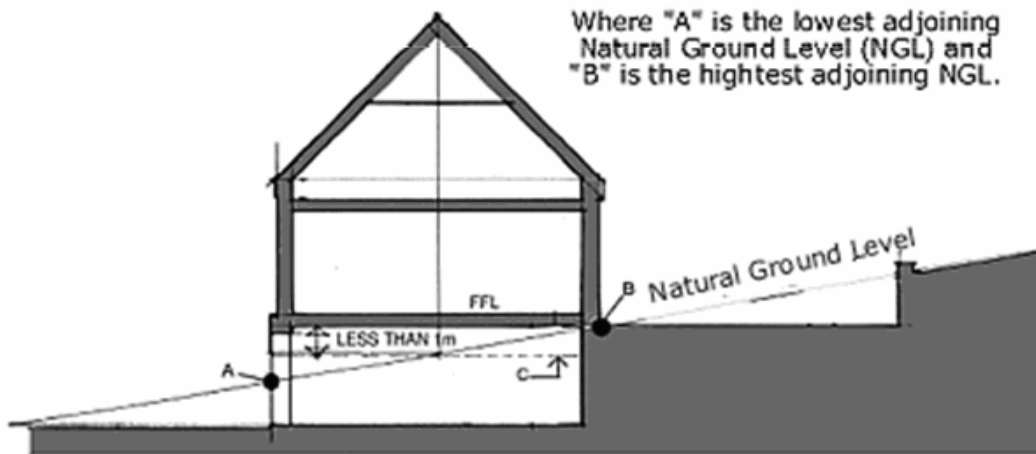


Figure 13

12. **SETBACKS (Building lines)**

12.1 Group Housing Erven:

12.1.1 Setback from street boundary = 2m for the dwelling and 6m from kerb to garage door.

12.1.2 Setback from the common (lateral) boundaries = 0m or greater than 1m (Note: no windows, ventilators or doors permitted in walls built on the property boundary)

12.1.3 Setback from boundaries other than common or street boundaries (i.e. Open Space or Golf Course) = 3m

12.2 Single Residential Erven:

12.2.1 Setback from street boundaries of the erf = 4.5m

12.2.2 Setback from common (lateral) boundaries = minimum 1.5m, with the sum of the side boundaries being 4m

12.2.3 Setback from boundaries other than common or street boundaries (at zoning changes i.e. Open Space or Golf Course) = 3m

12.2.4 Carports and or garages may be erected on one common boundary (0m building line).

12.3 General Residential:

12.3.1 Street Boundaries: 4.5m setback.

12.3.2 Common (side boundaries with adjoining erven): 3m

12.3.3 Setback from boundaries other than common or street boundaries (at zoning changes i.e. Open Space or Golf Course) or rear boundaries = 5m

13. **COVERAGE (Area of all roofed areas)**

13.1 Group Housing erven: 70%.

13.2 Single Residential erven: 50%.

13.3 General Residential: 40%

14. **GROSS BUILDING AREA (including garages and outbuildings)**

14.1 Group Housing dwellings: minimum area of 100 m².

14.2 Single Residential dwellings: minimum area of 150 m².

15. **CONSOLIDATION OF ERVEN**

15.1 Consolidation of two erven into one shall be subject to the approval by

15.1.1 the Home Owners Association of the nature of the resulting erf, and

15.1.2 the Swartland Municipality according to the criteria of the Municipality of such consolidations; and

15.1.3 the Surveyor General of a general plan reflecting the consolidated erf.

15.2 The regulations governing a consolidated erf will be the same as those for a regular single residential erf, except for the following:

15.2.1 Setback from the rear boundary = 3m

15.2.2 Setback from common (lateral) boundaries = minimum 3m, with the sum of the side boundaries being not less than 8m.

15.2.3 Maximum coverage = 40%

15.2.4 Minimum building bulk (total floor area) = 300 m²

16 DENSITIES: GROUP HOUSING & GENERAL RESIDENTIAL

- 16.1 Group Housing: 20 units per Hectare maximum density per group housing erf is permitted.
- 16.2 General Residential: 50 Units/Ha.

17 PARKING

- 17.1 Single Residential: Minimum of 2 vehicles in Garages/Carports with a further 2 spaces for visitors provided on the property.
- 17.2 Group Housing: Minimum of 2 vehicles located on the property per unit.
- 17.3 General Residential: Minimum of 1.75 bays per apartment.

17. SERVICE AREAS

Each dwelling shall have an enclosed service yard for washing, refuse bins and or pets. This yard must be located so that its contents are not visible from the ground from any street or open space. This requirement must be read in conjunction with the guidelines for the construction of boundary walls (IClause 20). Service yard gates are to be of solid or closed boarded material.

19. LEVELS AND BUILDING PLATFORMS

Building platforms may be constructed along the following guideline:

- 19.1 No platform shall exceed a height of 1.4 m above the natural ground level

20. PROVISION OF COMMUNAL OPEN SPACE (Group Housing & General Residential)

- 20.1 Mount Royal Golf and Country Estate is located around and within an 18-hole golf course and borders on two natural buffer corridors along the seasonal streams. The residents subsequently have direct, convenient and safe access to vast open space systems.

The need for the provision of communal open space within individual group housing sites is subsequently less than would be the case within a conventional urban area. This guide therefore requires that group housing schemes make provision for the inclusion of communal open space as follows:

- 20.2 Group Housing: 25m² of soft landscaped area (Lawns, plant beddings, fountains, communal outdoor amenities such as pools) per dwelling.
- 20.3 General Residential: 15 % of the site area shall be soft landscaped (Lawns, plant beddings, fountains, communal outdoor amenities such as pools)

21. BOUNDARY WALLS

- 21.1 STREET BOUNDARIES may be dealt with in one of the following ways:
 - 21.1.1 Appropriate landscaping and planting in accord with the landscaping guide.
 - 21.1.2 Boundary walls up to a height of 1.1 m above the lowest adjoining ground level and constructed primarily of the same material as the core building of the dwelling and finished to match the dwelling.

- 21.1.3** At the sole discretion of the Estate Management the street boundary wall may be constructed to a height of 1,8 m, which will only be considered with good reason, such as to protect an entertainment area where the property is predominantly north entry. The solid section of the wall shall never exceed 60% of the length of such street boundary, the balance to either not exceed 1.1 m height, or if 1,1m but <1,8m, to be palisade sections between built columns, the plinth height not exceeding 600mm above natural ground level. The use of setbacks and soft landscaping to reduce the impact of the solid section would be encouraged.
- 21.2** GOLF COURSE BOUNDARIES and NATURAL OPEN SPACE BOUNDARIES may be dealt with in one of the following ways:
- 21.2.1** These boundaries are to be demarcated by a strip of plant bedding encroaching onto the golf course side of the erf boundary by not more than 800 mm, stretching along the entire length of such a boundary fence on the golfcourse / open space side of the boundary. The strip of planting on the golf course / open space side of the property must be maintained by each individual property owner.
- 21.2.2** Landscaping (planting such as shrubs, hedges, trees) can be used if a stronger definition of the boundary is preferred.
- 21.2.3** If enclosure is required the following wall types are permitted on the golf course and open space boundaries:
- 21.2.3.1** Masonry or natural stone – to match the finish and style of the dwelling to a maximum of 1,8m high.
- 21.2.3.2** Palisade fence between masonry or natural stone piers (which match the finish and style of the dwelling) to a maximum of 1,8m high.
- 21.2.3.3** TANALITH Pole “paddock” fences to a maximum of 1,5m high, with optional expanded/welded mesh infill panels in black or grey (black Beckart Plantanet or galvanised welded mesh or similar approved) but must be according to Figure 14.
- 21.3** SIDE BOUNDARIES and INTERNAL BOUNDARY WALLS
- 21.3.1** Walling used to enclose or define spaces should flow from the built form in design and materials, appropriately combined with hard and soft landscaping. Linking walls (walls between the common boundaries and the dwelling shall accordingly be constructed of the same material as the main dwelling, but shall be transparent (palisade or metal/timber trellis) for 40% of the total length of such a wall.
- 21.3.1.1** Should a linking wall articulate with a side boundary wall, it must be stepped down to the height of the side boundary wall at least 2 m before such side boundary wall.
- 21.3.1.2** Linking walls may not be closer to either the golf course or street boundary than the dwelling.
- 21.3.2** The height of the side boundaries from the street boundary to the street building line shall not be more than the height of the front boundary wall;
- 21.3.3** The maximum height of a side boundary wall from the street building line to the main dwelling shall be 1,5m.
- 21.3.4** In the case of erven directly or indirectly abutting the golf course or open spaces, any side boundary walls shall within 4,5m of the rear boundary be stepped to the height of the rear boundary fence or if there is no rear fence to 1,1 m or less.
- 21.3.5** Common boundaries (between adjoining erven) may have boundary walls as listed below but not exceeding 1.8m in height above the lowest adjoining ground level, except paddock fences which shall be a maximum of 1,5m.
- 21.3.5.1** Masonry or natural stone – to match the finish and style of the dwelling to a maximum of 1,8m high.
- 21.3.5.2** TANALITH picket fences to a maximum of 1,5m high.
- 21.3.5.3** TANALITH Pole “paddock” fences. (see fig. 14)
- 21.3.5.4** Hedges of trees or shrubs.

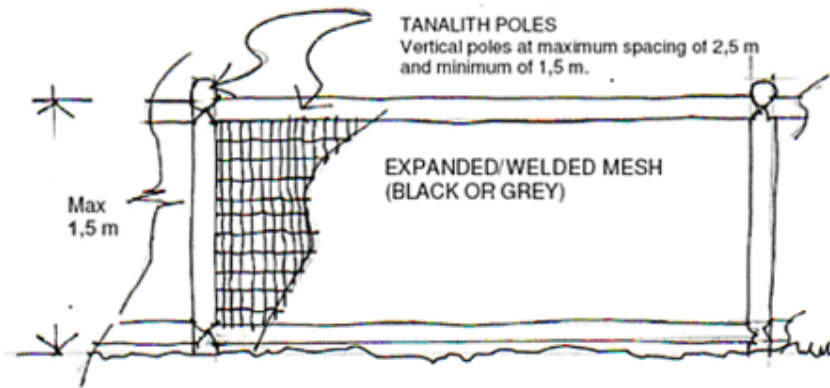


Figure 14

- 21.4 No pre-cast concrete walling of any type shall be permitted on the Estate.
- 21.4 The abovementioned are general guidelines that are subject to adjustment by the ARC Committee according to the merits of the individual applications.

22. ROOFS

Each roof must be designed exclusively in accordance with the selected architectural style. Limitations will be placed on colours and materials to ensure that the varied styles complement one-another regardless of profile. All angles of roof degrees are to be appropriate to the particular architectural style.

- 22.1 Style 1 – English Country:
Concrete Roof Tiles (Lafarge Elite range, all colours), natural Slate or Thatch (or similar approved in writing by the Estate Management)
- 22.2 Style 2 – Rural Victorian:
Corrugated sheet metal in Chromadek colour finishes: Charcoal, black, light grey.
- 22.3 Style 3 – Rural Tuscan:
Concrete Roof Tiles (Lafarge Double Roman or Cupola, all colours except greys or green), natural Slate to compliment the style (or similar approved in writing by the Estate Management)
- 22.4 Style 4 - Cape Vernacular:
Corrugated sheet metal in Chromadek colour finishes charcoal, black, light grey. Thatch will be allowed.
- 22.5 “Klip-Lok” secret fix Chromadek finishes (colour to match house roof) may be used on garages and permitted flat roofs on wings (abutments) if concealed by parapets on all sides. No IBR profiled steel roofing will be permitted.
- 22.6 Thatched “Lapa’s” will only be permitted where the main roof is thatch. Any pitched roofed free standing outbuilding is to be under the same roofing as the main house.

23. EXTERIOR WALL FINISHES

- 23.1 Style 1 – English Country:
Face Brick, Corobrik: Clifton Travertine. (or similar approved in writing by the Estate Management)
or
Face Brick, Corobrik: Autumn Smooth. (or similar approved in writing by the Estate Management)
or
Plaster and Paint. Colour ranges according to Plascon (Inspired Colour) ref. no. 's: 07-B2-2 (Annabell) and 05-C2-1 (Ripe Oats), or similar approved in writing by the Estate Management.

- 23.2 Style 2 – Rural Victorian:
Face Brick, Corobrik: De Hoop Red Travertine. (or similar approved in writing by the Estate Management)
or
Plaster and paint. Colour ranges according to Plascon (Inspired Colour) ref.no.'s Y4-B2-3 (Ivory White) and Y2-B2-2 (Harvest Wreath), or similar approved in writing by the Estate Management.
- 23.3 Style 3 – Rural Tuscan:
Face Brick, Corobrik: Summer Gold Rustic. (or similar approved in writing by the Estate Management)
or
Face Brick, Corobrik: Summer Gold Travertine. (or similar approved in writing by the Estate Management)
or
StippleCrete by Cemcrete, colours: Salmon,Beige or Tan (According to Cemcrete colour specifications) (or similar approved in writing by the Estate Management)
or
Plaster & Paint: Plaster and Paint. Colour ranges according to Plascon (Inspired Colour) ref. no.'s: 07-B2-2 (Annabell) and 05-C2-1 (Ripe Oats), or similar approved in writing by the Estate Management.
- 23.4 Style 4 - Cape Vernacular:
No Face brick
Plaster and paint. Color ranges according to Plascon (Inspired Colour) ref.no.'s Y4-B2-3 (Ivory White) and Y2-B2-2 (Harvest Wreath),or similar approved in writing by the Estate Management.

24. EXTERIOR DOORS AND WINDOWS

- 24.1 Style 1 – English Country + Style 2 – Rural Victorian.
Timber, stained (wood tones), or varnished, or painted white.
Aluminium, white, charcoal or black epoxy coated – no bronze anodized or natural anodized finishes.
Windows should be square or taller than wide.
Sliding Patio doors must be recessed into the exterior wall and under the eave line by at least 500mm. The eave line must continue along the plane of the exterior wall over such a sliding door opening, or be placed behind a stoep or patio with a depth of at least 1.5m.
Garage doors to be timber or sectional overhead doors finished to match the doors and windows of the dwelling. Single large span (4.8m) garage doors are not permitted. Garage doors are to compliment the style and are not to be too ornate and out of context with the same.
- 24.2 Style 3 – Rural Tuscan:
Timber, stained (wood tones), or varnished.
Aluminium, charcoal or black epoxy coated – no bronze anodized or natural anodized finishes.
Windows should be square or taller than wide.
Sliding Patio doors must be recessed into the exterior wall and under the eave line by at least 500mm. The eave line must continue along the plane of the exterior wall over such a sliding door opening, or be placed behind a stoep or patio with a depth of at least 1.5m.
Timber French doors or sliding-stacking doors are preferred.
Garage doors to be timber or sectional overhead doors finished to match the doors and windows of the dwelling.

24.3 Style 4 - Cape Vernacular:

Timber, stained (wood tones), or varnished, or painted white and antique green.

Aluminium, white, charcoal or black epoxy coated – no bronze anodized or natural anodized finishes.

Windows should be square or taller than wide.

Sliding Patio doors must be recessed into the exterior wall and under the eave line by at least 500mm.

The eave line must continue along the plane of the exterior wall over such a sliding door opening, or be placed behind a stoep or patio with a depth of at least 1.5m.

Garage doors to be timber or sectional overhead doors finished to match the doors and windows of the dwelling. Single large span (4.8m) garage doors are not permitted. Garage doors are to compliment the style and are not to be too ornate and out of context with the same.

25. STONE CLADDING

Only natural stone as approved by the Estate Management may be used.

The use of stone is recommended for the construction of chimneys in Styles 1 and 3. All chimneys are to be of the closed type.

Where chimney cowl are used they are to be of the "rooster" type weather vane, and not the common wind cowl.

26. BASEMENTS

Basements (according to the National Building Regulations definition – ceiling at less than 1m above the average adjoining ground level) are permitted and are excluded from the gross building area calculations.m (See fig. 13)

27. BALUSTRADES

Balustrades must be designed simply and elegantly. They must compliment the design of the main building. No Pre-cast concrete balustrades are permitted

28. AWNINGS, CARPORTS, POSTS AND PERGOLAS

28.1 Carports must have a flat-pitched roof that is hidden behind a timber fascia or parapet wall.

28.2 Carport supports must either be in large timber sections or brick columns. The sides may be trellised and planted with creepers. Patented prefabricated carport systems may not be used.

28.3 Posts and pergolas must be constructed in natural hardwood and supported on timber, brick or natural sandstone columns; if they are painted they should match the window and door colour.

28.4 Awnings, pergolas and carports to blend in with house style and must be indicated on plans when they are submitted for approval.

28.5 No brightly striped canvas or exposed translucent sheeting may be used.

28.6 Solariums – sun rooms are generally not permitted.

29. PLAN SCRUTINY, NEW DWELLINGS, ALTERATIONS AND ADDITIONS

29.1 **No alteration, addition, demolition, major decoration or reconstruction of or to the property, including walls and fences, may be undertaken without the prior approval of the ARC and where necessary the Swartland Municipality.**

29.2 Any additions, alterations or amendments to the original approved plans at any stage, as well as colour changes, are to be

submitted to the ARC for approval.

29.3 No alteration and additions application will be accepted without payment of the prescribed fees (see Clause 38).

30. AMMENDMENTS TO THE GUIDE

30.1 This Guide is an integration of requirements that are laid down by:

30.1.1 the ASSOCIATION, the Principal Reviewing Architect and the Swartland Municipality (SECTION A), and

30.1.2 the ASSOCIATION and the Principal Reviewing Architect (SECTION B).

30.2 Requirements for amending Section B hereof: The Principal Reviewing Architect may make changes, and/or additions to Section B. Such changes become effective once the Home Owner's Association publishes them on the Mount Royal website.

30.3 Requirements for amending Section A hereof: Amendments to Section A in this Guide shall in addition to the above be subject to the approval of the Swartland Municipality.

Section B

31. PAVING

All paving visible from the street and from the ground level of adjoining properties must be one or a combination of the following:

31.1 Brick or Broken brick in colour ranges, which compliment the dwelling.

31.2 Pre-cast Cobbles and flagstones.

31.3 Exposed aggregate concrete panels, bordered with brick or cobbles.

31.4 Loose Aggregate, bordered with brick or cobbles.

31.5 No asphalt will be allowed.

31.6 Concrete surfaces will not be allowed, unless covered with tiles or paving, or unless brushed exposed aggregate panels are proposed in a frame of cobbles or brick.

31.7 Driveways must be paved up to the street kerb.

32. LANDSCAPING

A dedicated Landscaping Guide is available.

33. SWIMMING POOLS

33.1 Portable pools are not permitted. Jacuzzi's are to be fully screened from public view.

33.2 Pool surrounds to match general paving as per Clause 30.

33.3 Filtration systems must be so located as not to cause disturbance to neighbours and must be concealed within a pool pump room or other type of enclosure; they should not be visible from the road, golf course or adjacent properties.

33.4 Pool enclosures must comply with National building regulations SABS 0400/DD4 and be of simple design to match the dwelling not exceeding 1.2m in height.

33.5 Back washing must be discharged onto the property and not on to any adjoining property, street or space.

34. TV ANTENNAE AND SATELLITE DISHES

34.1 Aerials and satellite dishes should be obscured within the roof or otherwise concealed where possible.

35. BURGLAR BARS

35.1 Burglar bars should be simple without ornate detail allowed.

35.2 All designs subject to review by reviewing architect.

35.3 External "basket type" burglar bars only permitted with the Tuscan (Style 3).

36. WATER AND ENERGY SAVING DEVICES

36.1 The use of water saving devices and technologies (e.g. dual flush toilets, low-flow shower heads and taps, etc.) is to be standard in all buildings.

36.2 Gardens and irrigation systems are to be designed according to best practises for water conservaion.

36.3 The use of energy saving devices and technologies is to be implemented in all buildings.

37. MISCELLANEOUS

37.1 Free standing tool sheds, wendy houses, animal shelters visible from the street are not permitted.

37.2 Audible alarm systems are not permitted.

37.3 Guest accommodation must be contained and integrated into the main structure of the house.

37.4 Air conditioning condenser units must be well concealed and not visible from the street, preferably installed at ground level and obscured.

37.5 At all times, caravans and boats must be housed under a pergola type structure and be screened from the street.

37.6 It is suggested that safety glass be utilized where rooms face the golf course.

37.7 Solar heating panels must be placed flat against the north facing roof slope and may not have external tanks. All ducts and piping are to be the same colour as the roof. Panels are to be fixed to secondary roofs and not to primary roofs. Combined tanks and panels mounted on flat roofs are not permitted.

37.8 No flood lights will be permitted.

37.9 Sun control shall be by means of a wide overhang, shutters or planting. No clip-on aluminium or canvas awning system may be used over windows or doors. A sliding or rolling canvas system for patios and pool decks is allowed.

37.10 All clauses, as set out in the Guide, remain in force until final completion of the building process of a specific application, and will be enforced, whether or not identified, during the ARC review scrutiny phase.

38. SIGNAGE AND CONSULTATION BOARDS

38.1 No signage will be permitted other than at positions designated by the Estate Management.

38.2 Builder's and consultant's boards are to be standardized. Detail regarding size, colour, format, font and branding are available from the Estate Management .

- 38.3 House numbers must be designed according to signage specifications obtainable from the estate management.
- 38.4 No for sale boards are permitted anywhere on the property other than at a centralized dedicated signage area as designated by the Estate Management.

39. NEW DWELLING, ALTERATION AND ADDITIONS PLAN SCRUTINY FEES (Excluding VAT)

- 39.1 For new dwellings and additions greater than 100 square metres: R 3 000.00
(Includes the following ;)

 - 39.1.1 Scrutiny of plans and ARC review committee comments, up to internal plan approval.
 - 39.1.2 A Roof height site inspection. (A written Report if necessary e.g. contraventions & bad workmanship)
 - 39.1.3 A works complete site inspection. (Completion certificate)

- 39.2 For additions of 50 – 100 Square metres R 1 500.00
(Includes the following ;)

 - 39.2.1 Scrutiny of plans and ARC review committee comments followed by plans approval.

- 39.3 For additions of less than 50 square metres R 800.00

 - 39.3.1 Scrutiny of plans and ARC review committee comments followed by plans approval.

- 39.4 Additional scrutiny and recommendations rate/hour: R 650.00
- 39.5 Commercial Development alterations and additions; Scrutiny fees to be appropriated upon their submission to the ARC.
- 39.6 Should the Estate Management experience contraventions & bad workmanship relating to any category of application, the EM may mandate a site inspection and written report @ R 1 000.00 per incident.
- 39.7 If the alteration, addition, demolition, major decoration or reconstruction of or to the property, including walls and fences, has been commenced or completed at the time of the application, a site visit may be mandated by the Estate Management and report to the Estate Management is to be undertaken by the RA @ R 1 000.00 per visit. The time spent on the preparation of the said report is to be based upon the additional rate/hour – minimum R 650.00
- 39.7 The services of the Project Architect that may be required in respect of matters arising from any application, query, request or concern relating to an erf on the Estate, of an architectural or related nature, and raised by an Owner or the Estate Management, if not otherwise stipulated or agreed shall be charged to the Owner on a time and cost basis.

ADDENDUM A

ARCHITECT'S COMPLIANCE CERTIFICATE

I, _____ Pr. Reg. No. _____, design architect, hereby certify that the design submitted is in full compliance with the Mount Royal Architectural Guide.

Design Architect's signature _____ Date _____

Owner's signature _____ Date _____

Submissions will be processed within 14 working days.

ADDENDUM B



MOUNT ROYAL GOLF & COUNTRY ESTATE

ARCHITECTURAL REVIEW COMMITTEE CHECK LIST

1. CLIENT DETAILS

ERF NO NAME

TEL NO FAX NO CELL NO

ADDRESS

ADDRESS

2. SUBMISSION DETAILS

PROFESSIONALS

DATE SUBMITTED SACAP REGISTRATION NO.

PREVIOUS SUBMISSION Yes No STAGE Sketch Final

TYPE OF APPLICATION New dwelling Additions Minor works

3. TOWN PLANNING REQUIREMENTS:

3.1 GUIDE COMPLIANCE CERTIFICATE ATTACHED & SIGNED Yes No

3.2 COVERAGE STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

3.3 BUILDING LINES STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

3.4 FLOOR AREA STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

4. ARCHITECTURAL STYLE

4.1 BUILDING STYLE & GENERAL DESIGN

1. ENGLISH COUNTRY 2. RURAL VICTORIAN 3. RURAL TUSCAN 4. CAPE VERNACULAR

COMMENT Yes No

4.2 BUILDING ELEMENTS

4.2.1 ROOF

PITCH & DESIGN: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

MATERIAL: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

COLOUR: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

4.2.2 EXTERNAL WALLS

MATERIAL: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

FINISH: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

COLOUR: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

PLINTH: SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

4.2.3 WINDOWS, DORMERS & DOORS

MATERIAL: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

PROPORTION: SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

COLOUR: STATED Yes No ACCEPTABLE Yes No COMMENT Yes No

POSITION & OVERHANGS: ACCEPTABLE Yes No COMMENT Yes No

4.2.4 CHIMNEYS STYLE, FINISH & COWL

 SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

4.2.5 PERGOLA'S

 SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

4.2.6 EXTERNAL FIXTURES

 SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

4.3 ORIENTATION, HEIGHT, ASPECT & SITING

ORIENTATION: SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

HEIGHT: SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

ASPECT & SITING: SHOWN Yes No ACCEPTABLE Yes No COMMENT Yes No

POS: APPLICABLE Yes No ACCEPTABLE Yes No COMMENT Yes No

4.4 EXTERNAL WORKS, SITE ENCLOSURE & SERVICE AREA'S, OUTBUILDINGS

4.4.1 SITE ENCLOSURE

STREET FRONTAGE: MATERIAL ok Comment HEIGHT ok Comment DESIGN ok Comment

REAR BOUNDARY: MATERIAL ok Comment HEIGHT ok Comment DESIGN ok Comment

SIDE BOUNDARY: MATERIAL ok Comment HEIGHT ok Comment DESIGN ok Comment

SCREEN WALLS: SHOWN Yes No HEIGHT ok Comment POSITION ok Comment

SERVICE AREA: SHOWN Yes No HEIGHT ok Comment POSITION ok Comment

CLOSED BOARDED GATE SHOWN yes No

4.4.2 DRIVEWAY & PAVINGS

 SHOWN Yes No FINISH ok comment POSITION ok Comment

4.4.3 GARAGE

 DESIGN ok comment ROOF ok comment POSITION ok Comment

4.4.4 OUTBUILDINGS

 SHOWN Yes No DESIGN ok comment POSITION ok Comment

4.4.5 RETAINING WALLS

 SHOWN Yes No DESIGN ok comment POSITION ok Comment

5. GENERAL REQUIREMENTS TO BE STATED ON ALL PLANS

- ❖ All sewer wastewater pipes are to be ducted and concealed.
- ❖ All rainwater gutters, fascia boards and down pipes are to be the same colour as the house roof and walls.
- ❖ Bagged finishes are not acceptable.

PLEASE BE AWARE THAT SEVEN COPIES OF THE FINAL PLANS ARE REQUIRED:
(ARCreview-1,Council-4,EstateManagement-1, Reviewing Architect-1)

6. SUMMARY

The items marked with an "X" are applicable to this submission

The application is generally acceptable and is to be amended in accordance with the attached scrutiny and comment sheets and re-submitted to the ARC review committee for final approval.

The application is to be prepared by a registered member of The South African Council for the Architectural profession (SACAP)

A copy of SACAP registration is to accompany each submission.

Not acceptable, insufficient information available.

The application does not comply with the development guidelines and accordingly cannot be approved.

The above scrutiny and further commentary sheets below, are issued for and on behalf of the MOUNT ROYAL GOLF AND COUNTRY ESTATE HOME OWNERS ASSOCIATION ARCHITECTURAL REVIEW COMMITTEE in terms of its Constitution and the development Guidelines applicable at the time of this submission.

SIGNED

DATE.....

(Principle reviewing Architect)

7. COMMENT SHEETS

Detailed commentary refers;